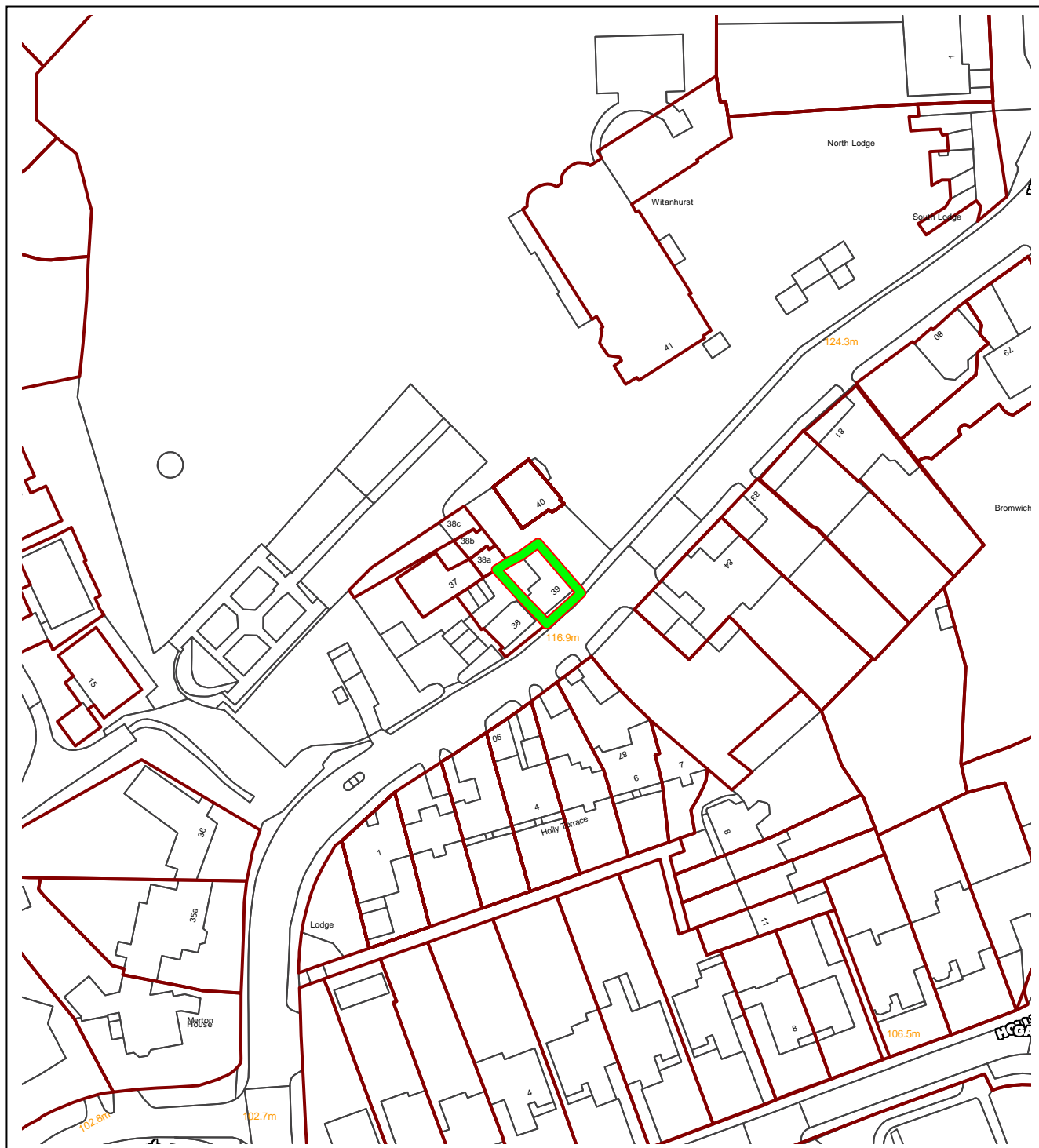


2025/2404/P – Flat Ground Floor, 39 Highgate
West Hill



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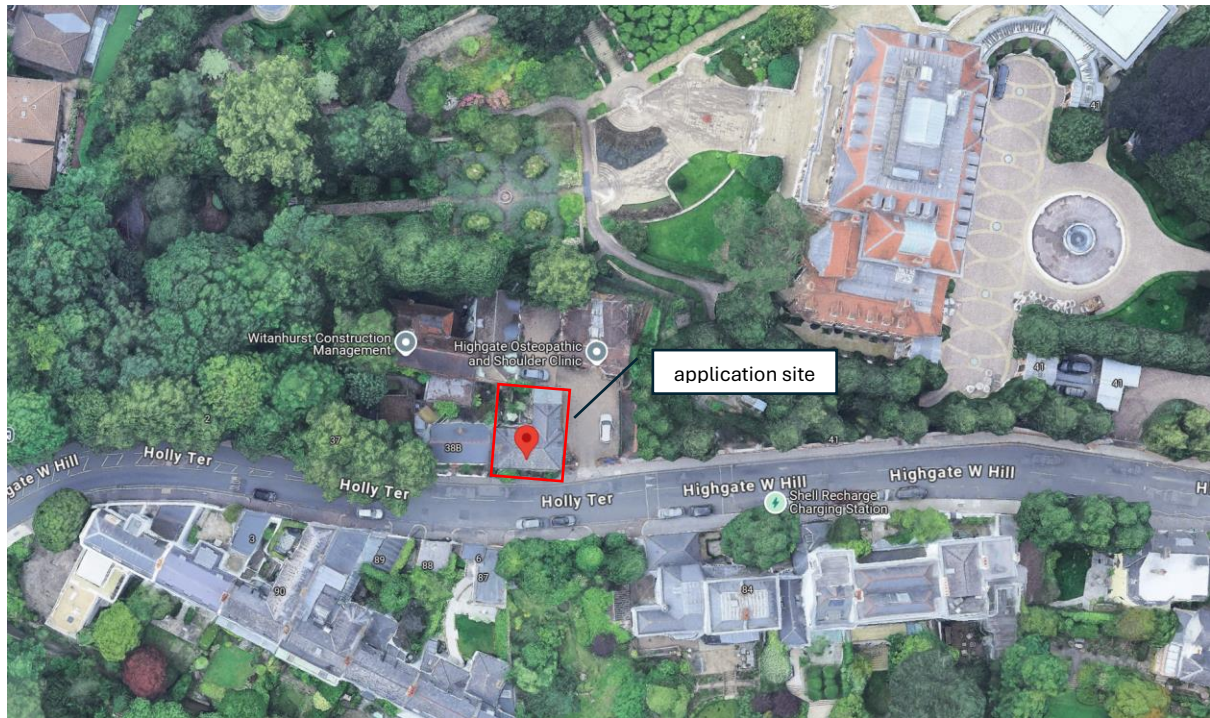


Figure 1: Aerial view of the site

Site photos



Figure 2 Front elevation of the application building (Source: submitted documents)

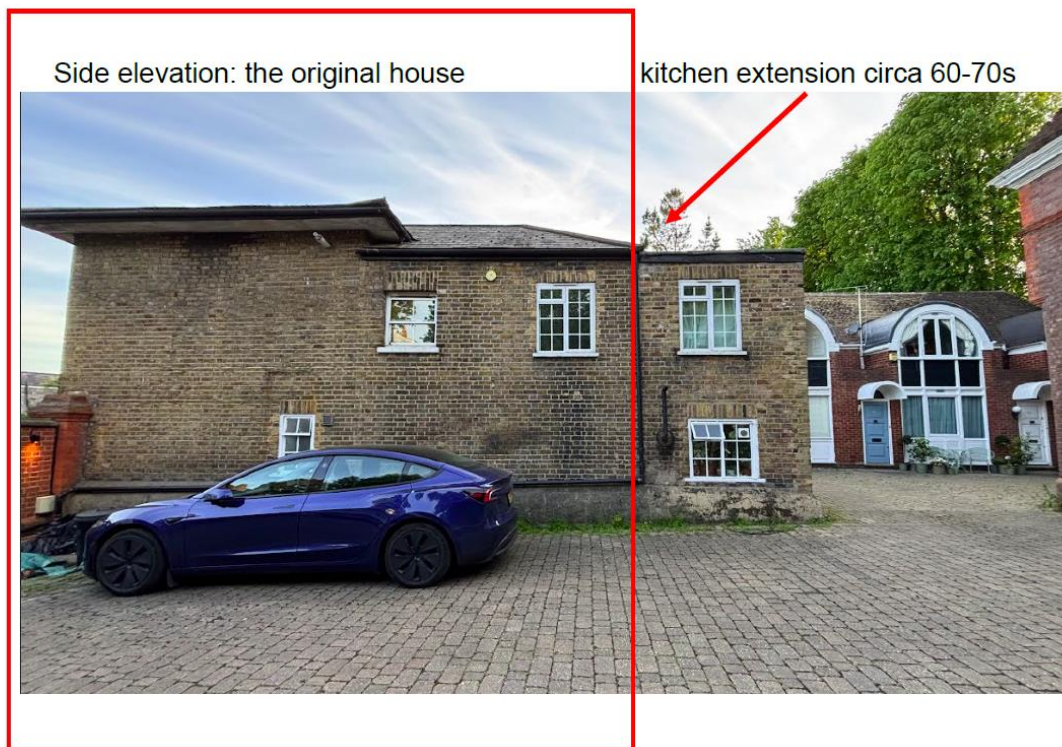


Figure 3 Side elevation of the application building (Source: submitted documents)



Figure 4 Existing windows on northeast side elevation (Source: submitted documents)

Side elevation (southwest)



Figure 5 Existing windows and door on southwest side elevation (Source: submitted documents)



Figure 6 Existing window and door on northwest rear elevation (Source: submitted documents)

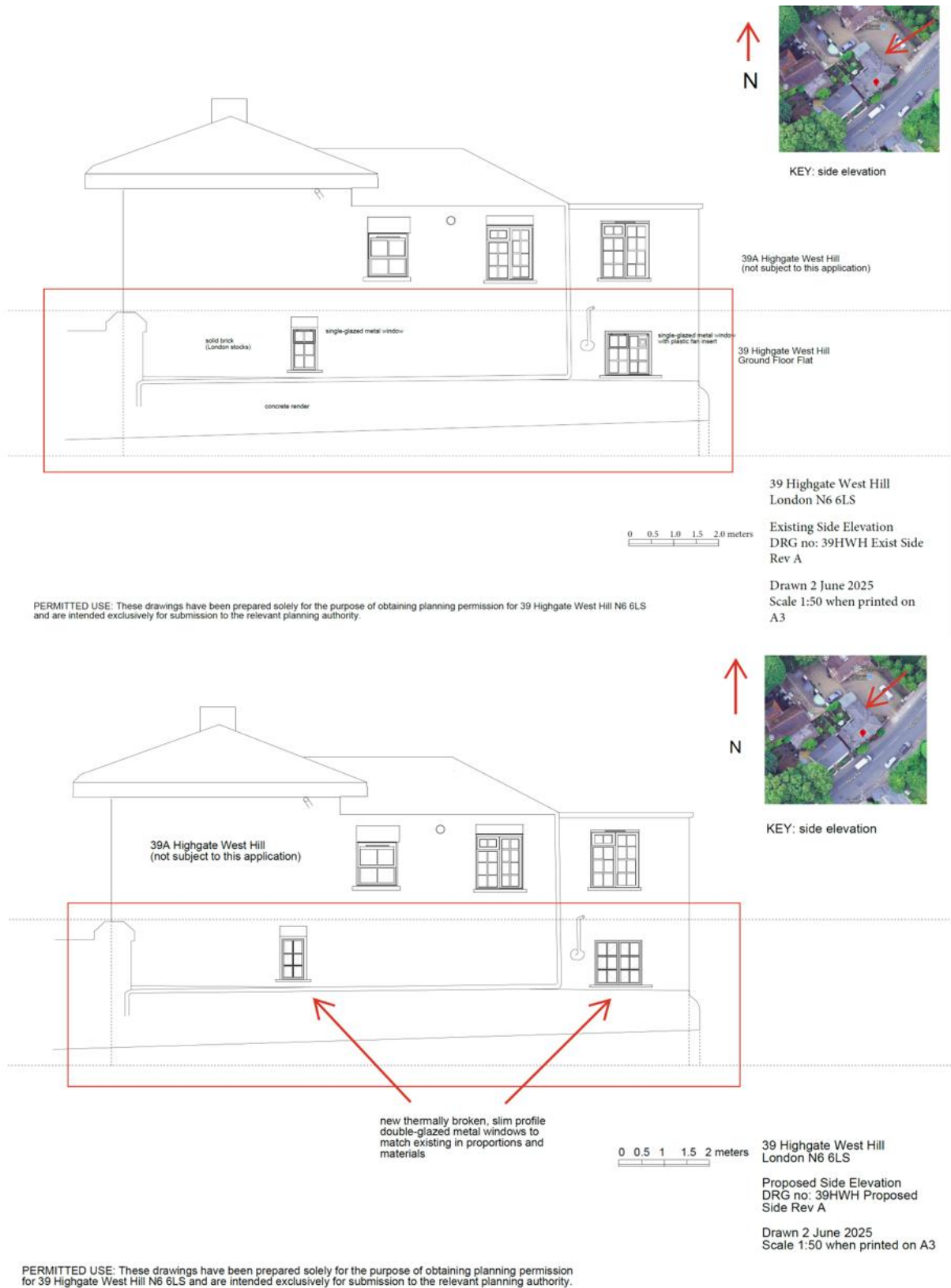
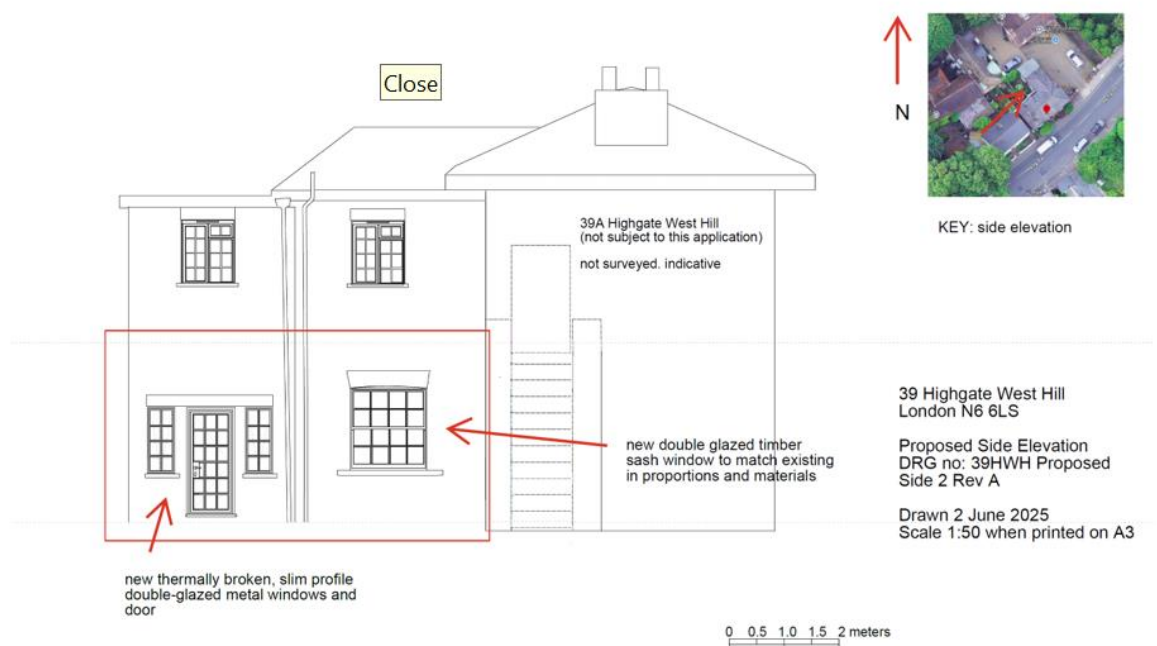


Figure 7 Existing and proposed northeast side elevation (Source: submitted documents)

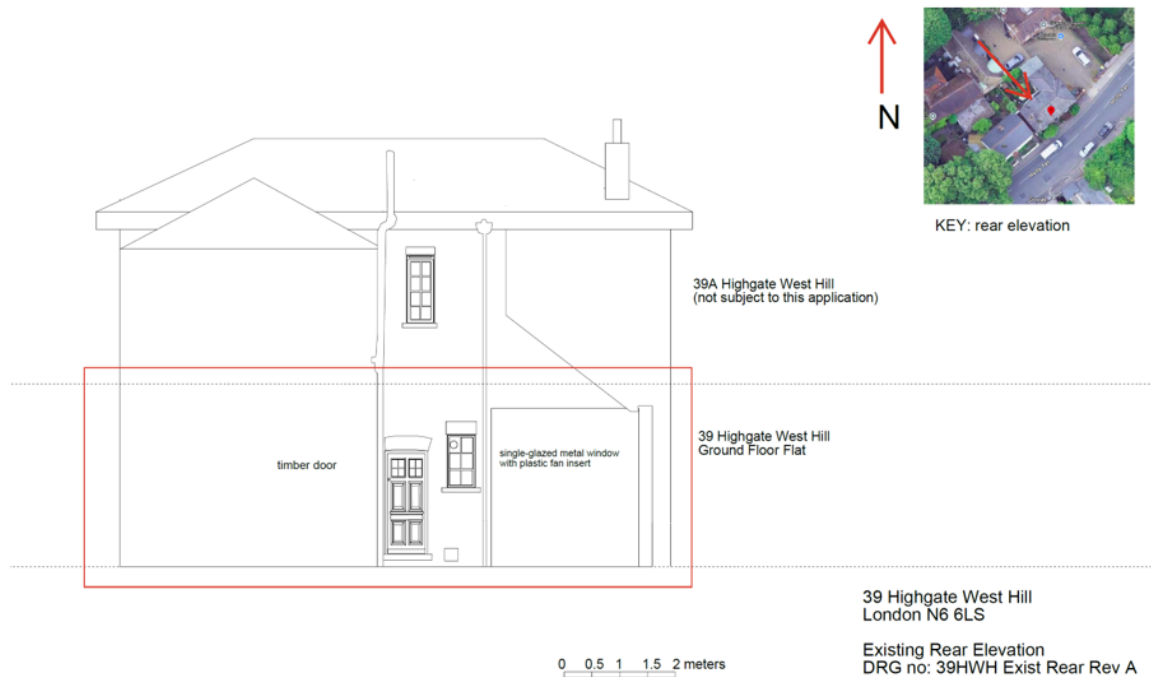


PERMITTED USE: These drawings have been prepared solely for the purpose of obtaining planning permission for 39 Highgate West Hill N6 6LS and are intended exclusively for submission to the relevant planning authority.

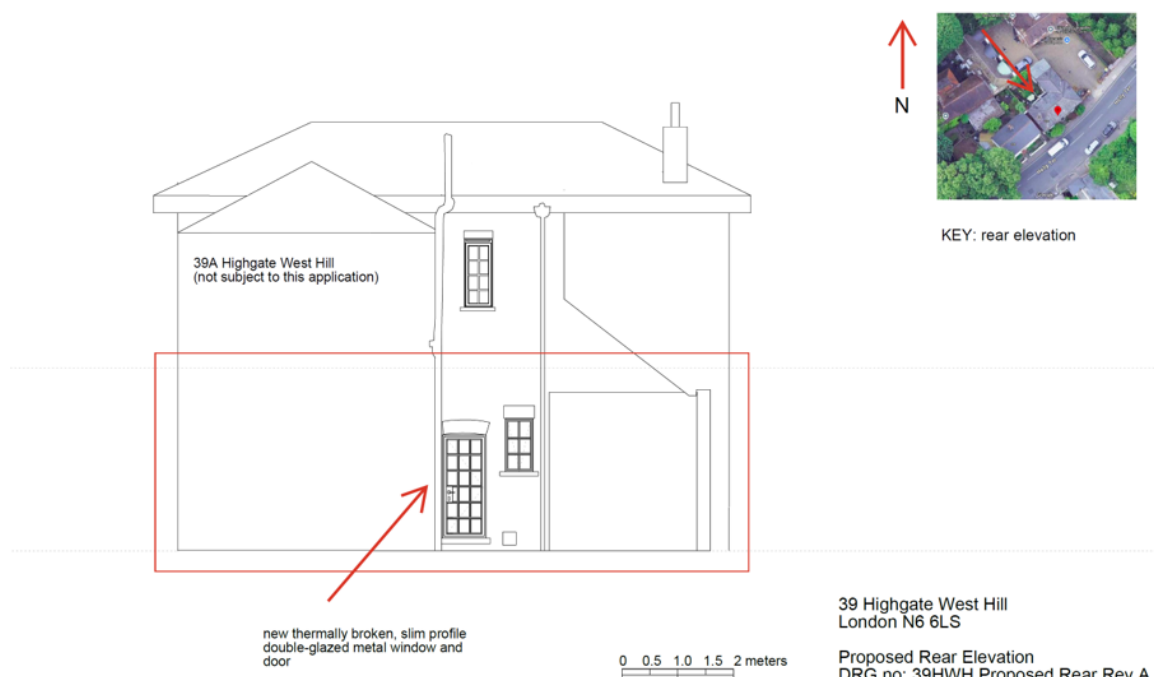


PERMITTED USE: These drawings have been prepared solely for the purpose of obtaining planning permission for 39 Highgate West Hill N6 6LS and are intended exclusively for submission to the relevant planning authority.

Figure 8 Existing and proposed southwest side elevation (Source: submitted documents)



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Figure 9 Existing and proposed northwest rear elevation (Source: submitted documents)

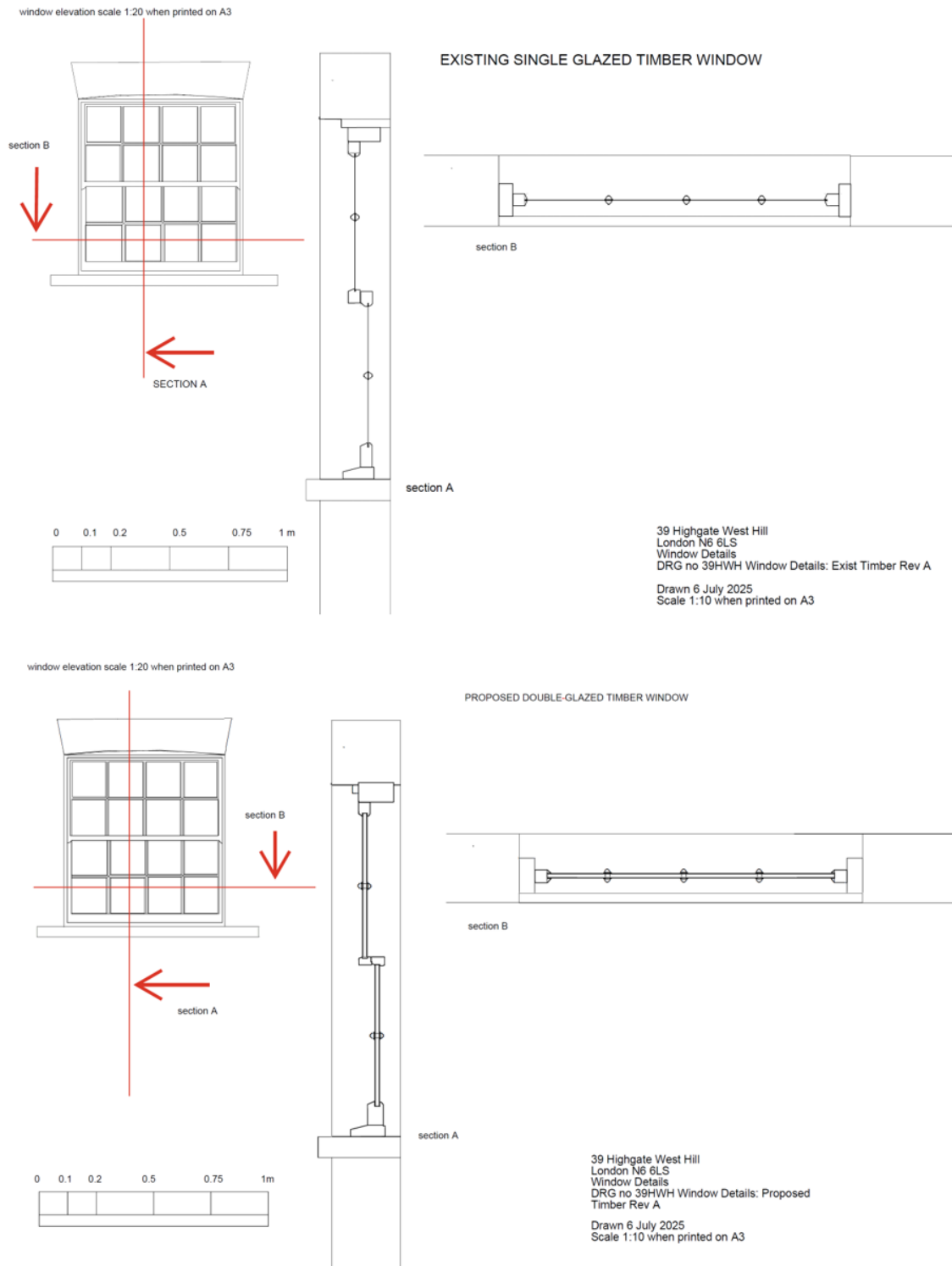


Figure 10 Existing and proposed window section of the timber window on southwest side elevation (Source: submitted documents)

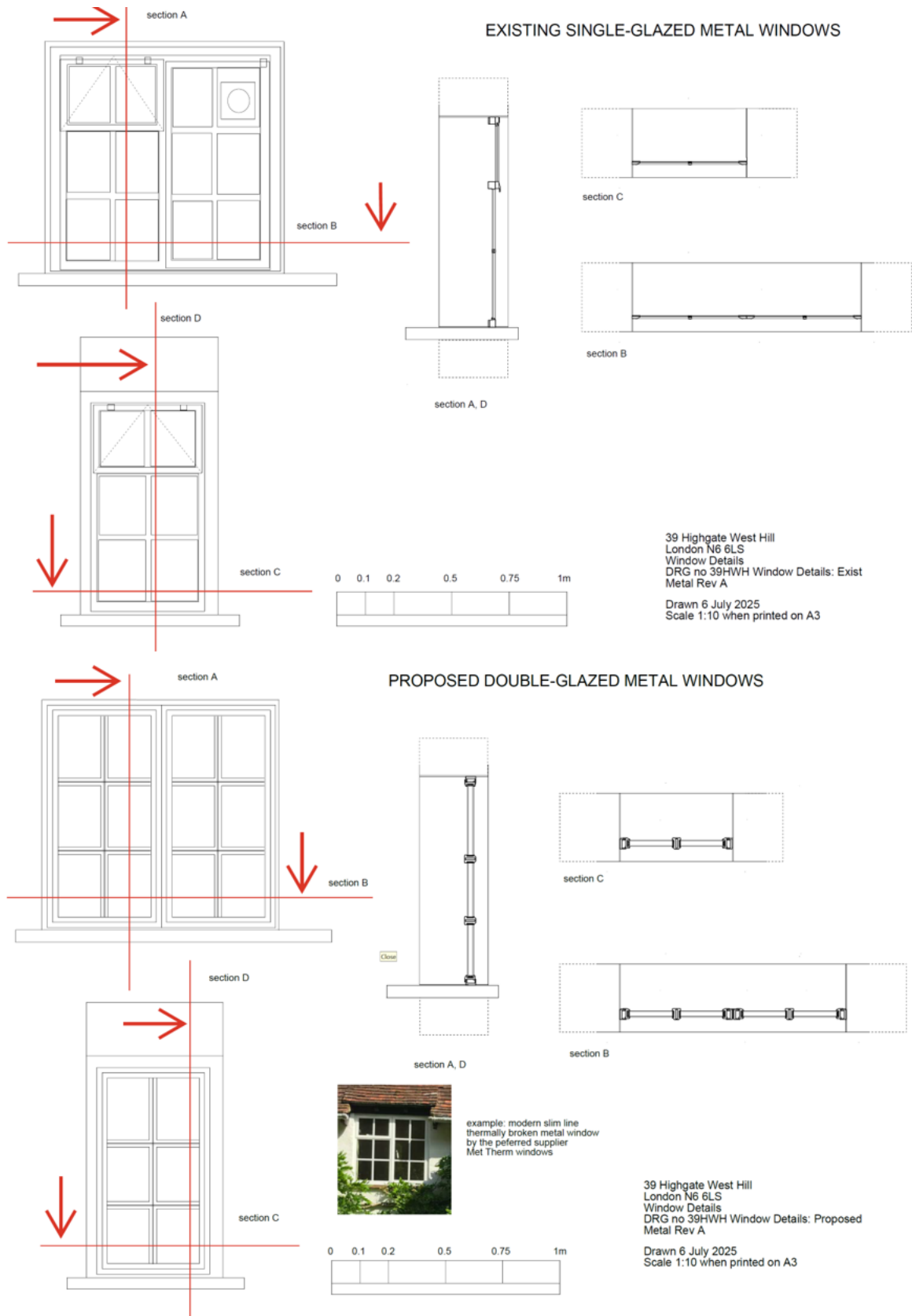


Figure 11: Existing and proposed window section of the metal windows on the northeast side elevation and the northwest rear elevation (Source: submitted documents)

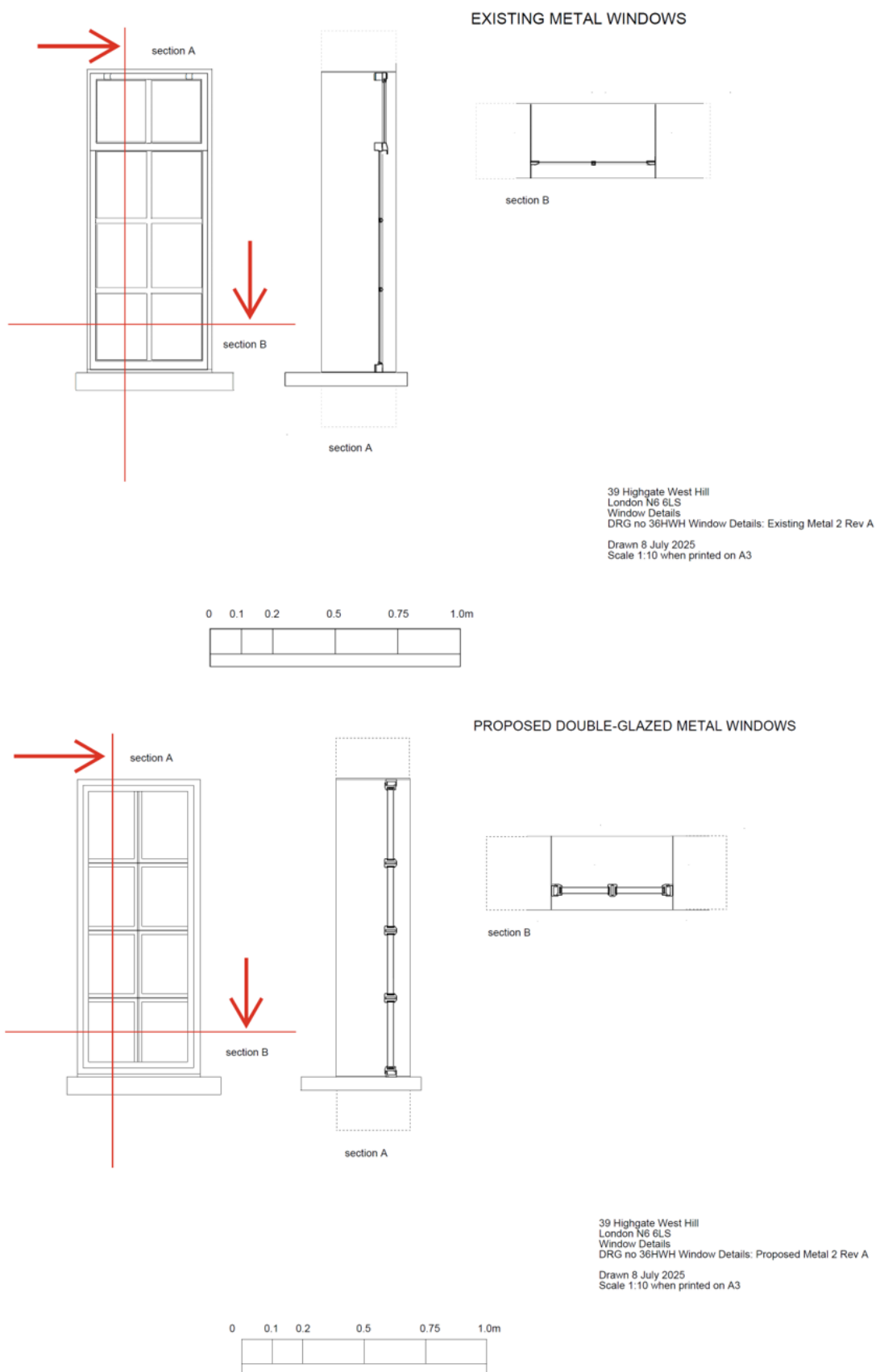


Figure 12 Existing and proposed window section on southwest side elevation (Source: submitted documents)

Delegated Report		Analysis sheet		Expiry Date:	01/08/2025
(Members Briefing)		N/A / attached		Consultation Expiry Date:	12/07/2025
Officer			Application Number(s)		
Gary Wong			2025/2404/P		
Application Address			Drawing Numbers		
Flat Ground Floor 39 Highgate West Hill London N6 6LS			Refer to draft decision notice.		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Replacement of the existing windows and doors to the side and rear of the ground floor flat.					
Recommendation(s):		Grant conditional full planning permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation	A site notice was displayed on 18/06/2025 and expired on 12/07/2025. A press notice was published on 12/06/2025 and expired on 06/07/2025.			
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	No response from neighbours was received.			
Highgate CAAC:	<p>An objection was first received from Highgate CAAC and is summarised as follows:</p> <ul style="list-style-type: none">Absence of full details in section and elevation as existing and proposed at 1:5 to demonstrate the new windows and doors are like for like.Submitted window drawings may not be accurate – the elevation and section lines do not line up and window sections and elevations do not tally. <p>The applicant has submitted revised window section and details subsequently. Highgate CAAC maintained their objection as follows:</p> <ul style="list-style-type: none">Unclear that where the section lines were taken.Neither the “as existing” nor the proposed sections can be correct, not least because they would not be watertight. Therefore, the existing windows could not have been shown as they are. The drawing submitted must indicate precisely what would be built. As presented, it is extremely unlikely the windows would have the appearance as submitted.The existing top hung opening is not replicated in the replacement windows.There is a discrepancy between the spacing of the glazing bars in section and in elevation. <p>Officer’s response:</p> <ul style="list-style-type: none">The submitted window section and details have been reviewed and are considered sufficient for planning assessment.The windows being watertight or not could not be taken as planning material considerations. The proposal would be assessed on its resulting visual impact on the character and appearance of the host building and the conservation area.Please refer to Section 2 for assessment on design and heritage impact.			

Site Description

The application building is a two-storey dwelling situated to the northwest of Highgate West Hill. The building is not listed and identified as a positive contributor to the Highgate Village Conservation Area. The building was constructed between 1870 and 1885 and has undergone historical alterations and extensions. It has now been converted into two dwellings: a ground-floor flat (the application flat) and a first-floor flat above. This application relates to the ground floor flat only.

Relevant History

Application site

None relevant.

Neighbouring sites

84 Highgate West Hill

2014/1830/L - Installation of a fixed window on the rear elevation at lower ground level of house. – **Granted listed building consent on 28/04/2014**

2014/0046/L - Replacement of bay window glazing with double glazed doors at rear garden level. – **Granted listed building consent on 11/03/2014**

Relevant policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

Camden Planning Guidance:

- CPG Amenity (Jan 2021)
- CPG Design (Jan 2021)
- CPG Home Improvements (Jan 2021)

Highgate Conservation Area Appraisal and Management Strategy (2007)

Draft Camden Local Plan (2024)

The Council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026)

Assessment

1. The proposal

- 1.1. The applicant is seeking permission to replace the existing windows and doors to the side and rear of the ground floor flat.
- 1.2. The proposal would replace existing several single glazed metal windows with double glazed metal windows, a single glazed timber window with double glazed timber window, and two single glazed timber doors with double glazed metal doors.

2. Design and Heritage

- 2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character, comprise details and materials that are of high quality and complement the local character, and respond to natural features. Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets, including conservation areas.
- 2.2. CPG Design states that good design should respond appropriately to the existing context by ensuring the scale of the proposal overall integrates well with the surrounding area and carefully responds to the scale, massing and height of adjoining buildings and the general pattern of heights in the surrounding area. The Council will only permit development within conservation areas and development affecting the setting of conservation areas that preserves and, where possible, enhances the character and appearance of the area.
- 2.3. CPG Home Improvements advises that new windows and doors should generally be designed and composed of materials and finishes sympathetic to the original windows and/or doors of the building. There are cases where materials and designs which are contrasting contemporary additions would be supported.
- 2.4. The Highgate Conservation Area Appraisal and Management Strategy identifies that the appearance of characterful buildings within the Conservation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. It is expected that original architectural features and detailing will be retained, protected, refurbished in the appropriate manner, and only replaced where it can be demonstrated that they are beyond repair.
- 2.5. The proposal would replace the existing windows with same materials. The existing metal windows would be replaced with double-glazed metal-framed replacements, and the timber windows with timber replacements. Whilst the top hung opening of some of the existing metal casement windows would not be replicated in the new replacements, the window size, materials, glazing bar proportions, meeting rail heights and joinery details of the replacement windows would match the existing and therefore, contribute to a high resemblance of visual appearance to the existing. As such the proposed replacement windows are considered acceptable in terms of visual impact.
- 2.6. Although the existing timber doors would be replaced by metal doors, such replacements are considered appropriate in this instance. The replacement metal doors would be in character with the metal windows located next to each of these doors and provide a more coherent appearance of the application flat generally. In fact, given the locations of these two doors, they would not be widely visible from public vantage points; therefore, the resulting visual impact is considered minimal and would not cause unacceptable visual harm to the character and appearance of the Highgate Village Conservation Area.
- 2.7. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

2.8. Overall, the visual impact from the proposal is considered acceptable and will not be harmful to the appearance and character of the host property or the conservation area. The proposed development is considered to be in accordance with Policies D1 and D2 of the London Borough of Camden Local Plan 2017.

3. Amenity

3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes, as well as impacts caused by the construction phase of development.

3.2. The proposal includes window and door replacements within the existing openings only. There would not be any new windows or doors. Given the nature and scope of the proposal, it is not considered to cause any undue harm on amenity in terms of loss of light, outlook or privacy to the neighbouring properties.

3.3. Overall, the amenity impact in terms of loss of light, outlook and privacy is considered acceptable and in accordance with Policy A1 of the London Borough of Camden Local Plan 2017.

4. Conclusion

4.1. The proposed development is in general accordance with Policies A1, D1 and D2 of the Camden Local Plan 2017, the London Plan 2021, and the National Planning Policy Framework 2024.

5. Recommendation

Grant conditional full planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 21st July 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/2404/P
Contact: Gary Wong
Tel: 020 7974 3742
Email: gary.wong@camden.gov.uk
Date: 14 July 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Ms Nadezda Krupska
39 Highgate West Hill
London
N6 6LS
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat Ground Floor
39 Highgate West Hill
London
N6 6LS

DECISION

Proposal:

Replacement of the existing windows and doors to the side and rear of the ground floor flat.

Drawing Nos: 39HWH Exist Front Rev A; 39HWH Exist Side Rev A; 39HWH Exist Side 2 Rev A; 39HWH Exist Rear Rev A; 39HWH Proposed Side Rev A; 39HWH Proposed Rear Rev A; 39HWH Proposed Side 2 Rev A; Location plan; 39HWH Exist Plan Rev B; 39HWH Proposed Plan Rev B; 39HWH Window Details: Exist Timber Rev A; 39HWH Window Details: Exist

Metal Rev A; 39HWH Window Details: Proposed Timber Rev A; 39HWH Window Details: Proposed Metal Rev A; 36HWH Window Details: Existing Metal 2 Rev A; 36HWH Window Details: Proposed Metal 2 Rev A.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

39HWH Exist Front Rev A; 39HWH Exist Side Rev A; 39HWH Exist Side 2 Rev A; 39HWH Exist Rear Rev A; 39HWH Proposed Side Rev A; 39HWH Proposed Rear Rev A; 39HWH Proposed Side 2 Rev A; Location plan; 39HWH Exist Plan Rev B; 39HWH Proposed Plan Rev B; 39HWH Window Details: Exist Timber Rev A; 39HWH Window Details: Exist Metal Rev A; 39HWH Window Details: Proposed Timber Rev A; 39HWH Window Details: Proposed Metal Rev A; 36HWH Window Details: Existing Metal 2 Rev A; 36HWH Window Details: Proposed Metal 2 Rev A.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

4 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).

5 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer