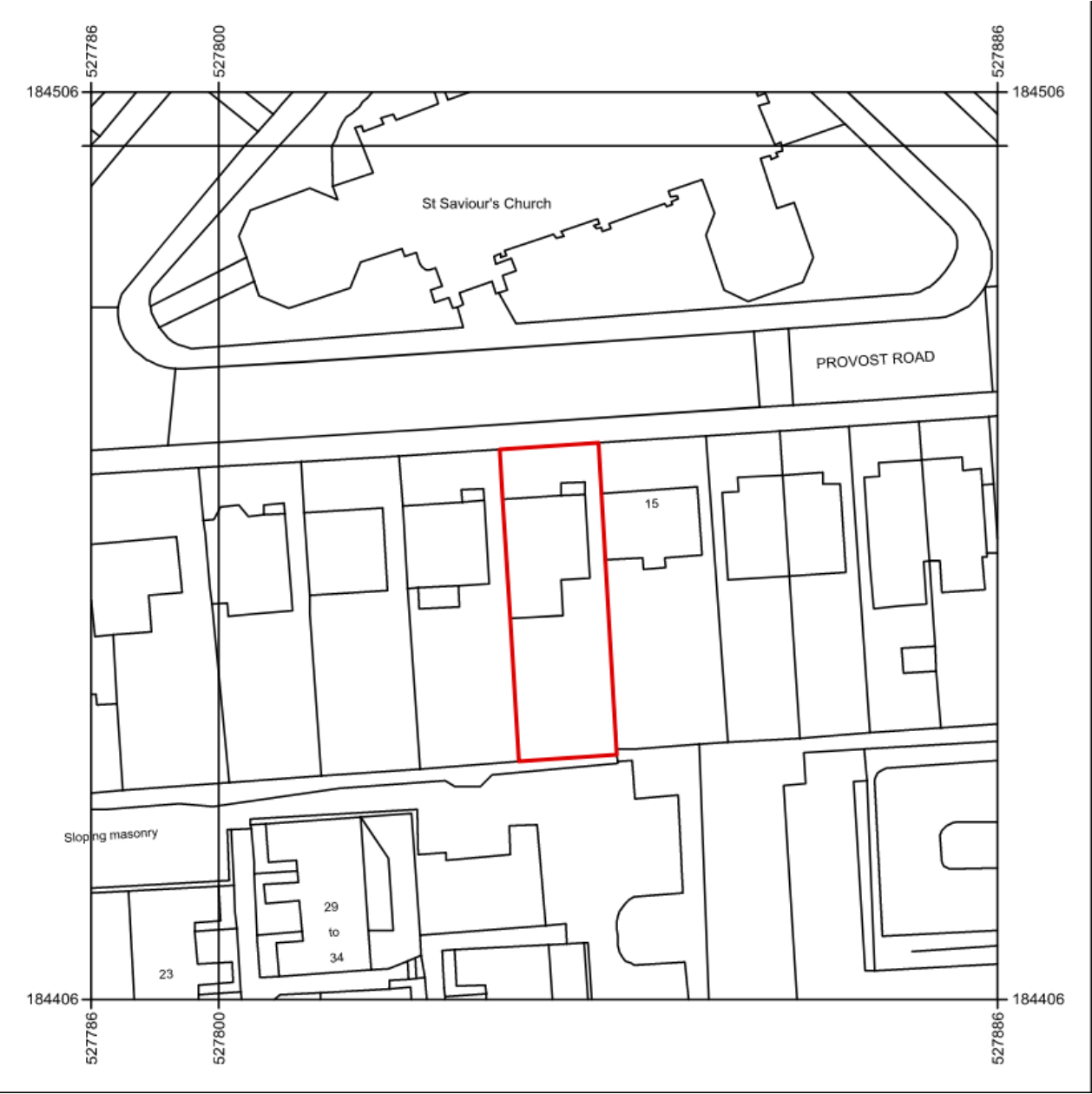


Site Location Plan 16 Provost Road 2025/0399/P



Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	26/03/2025
		N/A / attached		Consultation Expiry Date:	02/03/2025
Officer				Application Number(s)	
Josh Lawlor				2025/0399/P	
Application Address				Drawing Numbers	
16 Provost Road London NW3 4ST				See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of a rear garden outbuilding					
Recommendation:		Grant conditional planning permission			
Application Type:		Householder Planning Permission			
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice			
Informatives:					
Consultations					
Summary of consultation:		Site notices were displayed near the site on 06/02/2025 (expiring 02/03/2025) The application was also publicised in the local press from 05/02/2025 (01/03/2025)			
Adjoining Occupiers:		No. of responses	4	No. of objections	4
Summary of consultation responses:		Design heritage (Objection raised by 4 objectors) <ul style="list-style-type: none"> Oversized, excessively tall (3.2–3.5m), Disproportionate to the size of the garden and not subordinate to the host property. The inclusion of a trellis to attempt to obscure the structure is seen as evidence that it is too large for the location. 			

- Comparisons to neighbouring garden buildings (e.g. No. 17) are viewed as inaccurate or misleading, and relevant examples (e.g. No. 19) are omitted.
- Positioned 200mm from the rear boundary wall, leaving no room for maintenance
- Raised ground exacerbates the impact. Relocation to the lower part of the garden (e.g. trampoline site), at least 2–3m from the boundary.
- The roof slope faces inward, with the back/apex facing neighbours
- Green sedum slope could face outward toward Beaumont Walk and Constable House.
- Contrary to the Eton Conservation Area Statement, which highlights coherent scale, setbacks, and rear elevations.
- The garden room would damage the consistent rear view from Beaumont Walk and Adelaide Road.
- Refusal at No. 19 (ref: 2022/4237/P) for rooftop solar panels, where the rear view was protected.

Amenity Impact (Outlook, Privacy, Light, Noise) (4 objectors)

- Visible from flats in Beaumont Walk, Constable House, and Adelaide Road, affecting outlook and privacy.
- Block soft “dappled” views through the trellis and the rear façade of the house.
- Potential noise disturbance and the building’s use for parties or as a bar.
- Conditions to prevent use as Airbnb accommodation, living space, or entertainment venue.

Tree and Biodiversity Impact (3 objectors)

- The shed is too close to a mature horse chestnut tree, with risk of root damage.
- Could impact wildlife using the nature corridor behind the boundary line.
- Relocation further from the tree is suggested

Procedural and Consultation Concerns (3 objectors)

- Unauthorised photographs of the neighbouring estate in the application.
- The application allegedly assumes access via neighbouring land for construction, which has not been agreed.
- Reference to the estate as a “car park” is viewed as inaccurate and dismissive of its architectural merit (PSSHAK design, V&A exhibited).

Suggested Amendments (If Not Refused) (4 objectors)

If the application is not refused outright, objectors request that the following mitigations be secured by condition:

- Relocate the building 2.5–3m from the boundary, on lower ground.
- Reduce the overall height so it does not exceed the brick wall (excluding trellis).
- Rotate the roof so the sedum slope faces neighbours.
- Restrict the use to a non-habitable structure (e.g. gym/sauna only); prohibit toilet, shower, sleeping or bar facilities.
- Ensure tree protection measures and access for future wall maintenance.

	<p>Officer response:</p> <ul style="list-style-type: none"> <i>The proposed outbuilding measures approximately 3.2–3.5m in height, with a mono-pitch green sedum roof sloping away from the main dwelling. While it is larger than typical domestic sheds, it is not unusual for modern garden rooms intended for year-round ancillary use (e.g., gym or sauna), and it remains single-storey and clearly subordinate in height and footprint to the host property.</i> <i>The building would occupy a rear corner of the garden but retain a meaningful level of open space around it. Its siting does not preclude reasonable garden use and would not, on balance, appear overly dominant within its setting.</i> <i>The inclusion of a trellis is understood to provide additional greening and screening; it is not considered an admission that the proposal is excessive, but part of a softening design approach</i> <i>While objectors reference nearby properties (Nos. 17 and 19), each application must be assessed on its own merits. In this case, the proposal includes a green roof and timber cladding, which help reduce its visual impact. It would not be visible from the public realm within the conservation area and is located in a rear garden, a relatively low-sensitivity location.</i> <i>In terms of proximity to the boundary (200mm), while not ideal for maintenance, this is not uncommon for garden buildings.</i> <i>The suggestion that the building should be relocated 2–3m to a lower part of the garden is noted, but this would reduce functional use of the remaining garden and make it appear more dominant as it would not be adjacent to the boundary wall.</i> <i>The outbuilding is conditioned not to be used as a self-contained residential dwelling, and the layout proposed is for ancillary activities, e.g. gym.</i> <i>The Eton Conservation Area Statement encourages consistent rear elevations and a coherent rhythm of development. The proposed outbuilding would not break this rhythm, given its low profile and distance from the main rear building lines. Views from Beaumont Walk and Adelaide Road are filtered and would not be substantially altered. The case at No. 19 involved roof-mounted solar panels visible from the public realm, which raises materially different heritage considerations.</i>
<p>Objection from Eton Conservation Area Advisory Committee (CAAC)</p>	<p>Eton CAAC raised the following objection:</p> <p>Cumulative impact of garden buildings in the Eton Conservation Area, noting that at least ten similar applications have been approved since 2017, often following rear extensions. While each proposal may seem acceptable in isolation, together they are causing a progressive erosion of garden space and biodiversity, fundamentally altering the area's character.</p> <p>Almost two-thirds of the applicant's garden could be lost when combining the extension, proposed garden room, and paving.</p> <p>Cumulative development is undermining the verdant and cohesive character of the conservation area, contrary to the Council's duties under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.</p> <p>Camden is failing to consider cumulative effects, treating each application in isolation, which they argue breaches both statutory duties and the Draft</p>

	<p>Camden Local Plan (2024) Policy NE2, which seeks to resist excessive garden loss due to its biodiversity value.</p> <p>Object to light pollution caused by floor-to-ceiling glazing in garden rooms, particularly when illuminated at night. It can be intrusive in otherwise dark garden areas and damaging to biodiversity. Green roofs do not compensate for the permanent loss of open garden space.</p> <p>Officer response:</p> <ul style="list-style-type: none"> • The Council acknowledges that the <i>Eton Conservation Area</i> derives part of its significance from the relationship between buildings and gardens, including mature trees, green space, and rear garden views. • Planning policy and guidance does not preclude modest ancillary garden buildings. • The current proposal introduces a single-storey garden room of modest footprint, subordinate to the host dwelling and located at the rear of the plot. While objectors raise concerns about cumulative development (in combination with a previous rear extension), the proposal retains a reasonable portion of garden space. Based on the submitted plans, the remaining soft landscaping is sufficient to preserve the garden character of the property and does not represent an excessive loss. • The Council must assess each application on its merits. Although cumulative impact is a relevant consideration, there is no adopted policy threshold for the proportion of garden that must be retained. In this case, the proposal does not result in overdevelopment of the site and does not detract from the visual coherence of the area when viewed from public or private vantage points. • The objector refers to <i>Draft Policy NE2</i> of the <i>emerging Camden Local Plan (2024)</i>, which seeks to resist excessive garden loss due to its biodiversity value. As this is a draft policy, it holds limited weight at this stage. However, its direction aligns with existing policies <i>A3 (Biodiversity)</i> and <i>D1 (Design)</i>, which already encourage the retention and enhancement of green space. • The proposed garden room includes a green sedum roof, which contributes positively to local biodiversity. Additionally, a meaningful area of soft landscaping would be retained in the garden. The proposal does not include the removal of any trees and is not considered excessive in scale relative to the site. • The concern regarding light spill from glazed garden rooms is acknowledged. The proposal features full-height glazed doors facing inward toward the main dwelling. While these may be illuminated in the evening, this is not considered unusual for residential garden structures. • There is no policy restriction on glazed elevations in garden rooms. Lighting within private gardens is a common domestic feature and, while it may introduce some visual change, it is not considered materially harmful.
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Site Description

16 Provost Road, London NW3, is a Grade II-listed villa designed by the architect John Shaw and constructed circa 1844. The property is part of a group of early Victorian villas. Characteristic features include slated, gabled roofs with dormers, slab chimney stacks, overhanging eaves, and entrances featuring pro-style porticoes. Doorways are framed by pilaster jambs supporting cornice heads and part glazed doors. The properties also exhibit architraved sash windows with ground floors accentuated by pilasters and cornices.

These villas are particularly significant as a largely intact group, valued for their architectural coherence in terms of set-back, scale, height, and materials, as highlighted in the Eton Conservation Area Statement. Their consistent aesthetic creates a harmonious streetscape that contributes to the historical and architectural character of the area.

The front facades of these properties are the primary elements visible from Provost Road, contributing significantly to the Eton Conservation Area.

The garden is not publicly visible from the street, being discernible only from Constable House and the adjacent estate along Adelaide Road, which lie outside the Eton Conservation Area.

Relevant History

2013/5737/P Erection of single storey rear extension, and installation of conservation-style rooflights to east and west elevations of single dwelling. Granted 16/12/2013

2013/5795/L Erection of single storey rear extension, and installation of conservation-style rooflights to east and west elevations of single dwelling. Internal alterations including re-configuration of partition walls and addition of shower room. Granted 16/12/2013

There are outbuildings at the following sites on Provost Road:

2 Provost Road

2022/4049/P Erection of a single storey garden building to replace an existing shed. Granted 09/01/2023

4 Provost Road

2016/1015/P Erection of a single storey rear extension, a garden outbuilding with pergola, roof extension over the side passage and replacement side dormer windows and associated works. Granted 02/06/2023

12 Provost Road

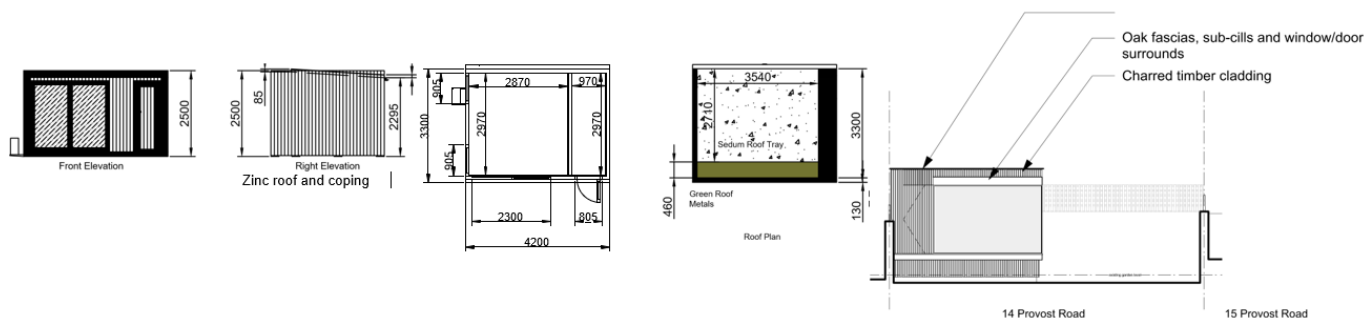
2012/3931/P Erection of two side (west elevation) dormer roof extensions, replacement lower ground rear extension, additional excavation of lower ground floor level by 500mm, various landscaping works to front and rear and associated alterations to residential dwelling (Class C3). Granted 15/10/2012

14 Provost Road

2021/2640/L Erection of a single storey rear extension, a garden outbuilding, roof extension over the side passage and replacement side dormer windows and associated works. Granted 02/06/2023

2021/1600/P Erection of a single storey rear extension, a garden outbuilding with pergola, roof extension over the side passage and replacement side dormer windows and associated works.
Granted 02/06/2023

Approved drawings:



Relevant policies

National Planning Policy Framework 2024

The London Plan 2021

Camden Local Plan (2017)

- Maximising housing supply
- H6 Housing choice and mix
- T2 Car free development
- A1 Managing the Impact of Development
- D1 Design
- D2 Heritage
- A3 Biodiversity
- CC1 Climate change mitigation
- CC2 Adapting to climate change
- CC3 Water and flooding

Camden Planning Guidance (CPG):

- Home Improvements (2021)
- Amenity (2021)
- Trees (2019)

The Eton Conservation Area statement (March 2001)

Draft Camden Local Plan

The council published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation in January 2024. Responses to the consultation and a Submission Draft Camden Local Plan (updated to take account of the responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April

2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination following a further period of consultation. The Council has published the Camden Local Plan Proposed Submission Draft for consultation. The consultation closes on Friday 27 June 2025. The Submission Draft is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1. The proposal

1.1. Erection of rear garden outbuilding with charred timber cladding (black). It would have the following dimensions:

- Height: 2.76m, measured from the existing upper garden level to the highest point of the roof
- Width: 4.8m
- Length: 4.55m (there is a privacy/screening fin to the front which is an additional 0.35m)

2. Revisions

2.1. The plan was revised to add a maintenance gap to the back and side of the outbuilding. The outbuilding was reduced in size to achieve this (i.e.. location did not move).

2.2. There were clarifications for measures taken in relation to the tree

3. Assessment

3.1. The principal considerations material to the determination of this application are listed below. It is noted that listed building consent is not required for the proposal as the impact on the setting of the Grade II Listed Building can be considered as part of this planning application under s.66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. Key issues are:

- The visual impact upon the character and appearance of the host property, streetscene, local area (Design and Heritage)
- The impacts caused upon the residential amenities of any neighbouring occupier (Residential Amenity)
- Impact to mature trees and biodiversity

4. Design and Heritage

4.1. Local Plan Policy D2 requires that developments within conservation areas preserve or enhance their character or appearance. The Eton Conservation Area Statement highlights the value of open gardens and consistent rear elevations.

4.2. The proposed outbuilding would be of an average size and scale and would retain a reasonably sized garden where mature vegetation could be sustained. The proposed materials are considered appropriate for a back garden development, and the proposed green roof and green screen would assist in integrating the structure into the garden, minimising its visual impact. The green roof is pitched, allowing for increased visibility of the greenery from the house. The front of the building is its lowest point, which reduces the perceived mass. The timber cladding will mature and provide a pleasant material finish. The charred timber would integrate the building into the landscape.

- 4.3. The proposed garden room is considered compatible with the character of the conservation area when assessed in context and on balance complies with Local Plan Policies D1, D2 and CPG: Home Improvements (2021). The outbuilding preserves the character and appearance of the Eton CA and setting of the host Listed Building.
- 4.4. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.
- 4.5. Special regard has been attached to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, under s.66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.
- 4.6. As such, the proposed development is in general accordance with policies A1, D1 and D2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework.

5. Residential Amenity

- 5.1. The proposed outbuilding is positioned towards the end of the garden meaning, the outbuilding is therefore located sufficient distance away from neighbouring windows not to impact residential amenity in terms of loss of outlook, added sense of enclosure or loss of privacy.
- 5.2. Potential light spillage would not be expected to materially harm neighbouring amenity.
- 5.3. The rear outbuilding is conditioned not to allow occupation other than for purposes incidental to the residential use of the dwelling known as 16 Provost Road. This is to safeguard neighbouring amenity and ensure it is not used as self-contained residential accommodation.
- 5.4. The proposals accord with Camden Local Plan Policies A1 and A4 which inter alia seek to preserve neighbouring amenity from noise, disturbance and loss of light.

6. Trees and Biodiversity

- 6.1. No trees are proposed for removal in order to facilitate development. Some limited trial pits have been created to assess root locations. The arboriculture Report states the position of each pile will be influenced by root locations i.e. flexible positions dependent on findings. A sauna is proposed in the garden room. No water supply will be provided to the building (other than irrigation to the tree, see above) and no waste/foul water drainage will be provided. In summary, the outbuilding will not be plumbed-in. The Council's Tree Officer has reviewed the submitted Arboricultural Report and confirms the development is acceptable, subject to further tree protection details.
- 6.2. Further details on the green roof (section to show substrate depth, maintenance plan and species list) are secured by condition to ensure long-term sustainability and biodiversity of the green roof.
- 6.3. Based on the information available this permission will not require the approval of a Biodiversity Gain Plan before development is begun because it is below the de minimis threshold, meaning it does not impact an onsite priority habitat and impacts less than 25sqm of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of linear habitat.

6.4. The development is not considered to result in the excessive loss of garden space and, with the inclusion of biodiversity measures such as the green roof, accords with the principles of Policy A3 and the direction of emerging Policy NE2 (Biodiversity).

7. Conclusion

7.1. The proposed development is considered acceptable in terms of design, heritage, and impact on neighbouring residential amenity and mature trees. The development is deemed consistent with the objectives and policies identified above.

8. Recommendation

8.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members' Briefing panel on Monday 21st July 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Ref. 2025/0399/P 16 Provost Road NW3 4ST

Site photographs and plans



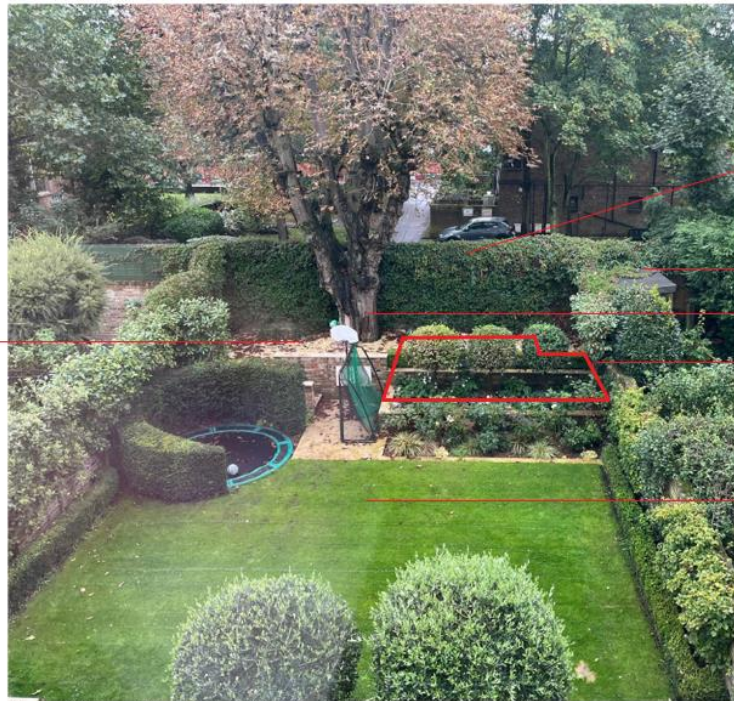
16 Provost Road
London

1. Aerial view

The Rear Garden

The garden, however, is not publicly visible from the street, being discernible only from Constable House and the adjacent estate along Adelaide Road, which lie outside the designated Conservation Area.

Built-up area of hard-standing



NW3 4ST

View of 16 Provost Road garden (taken from within 16 Provost)

2. Annotated picture of rear garden



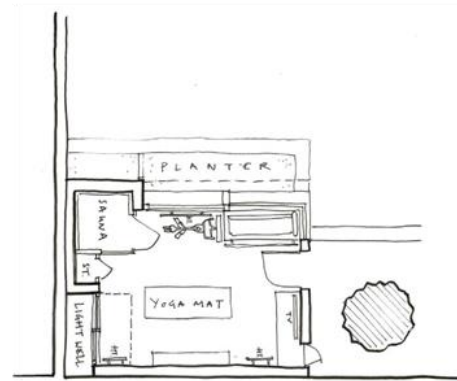
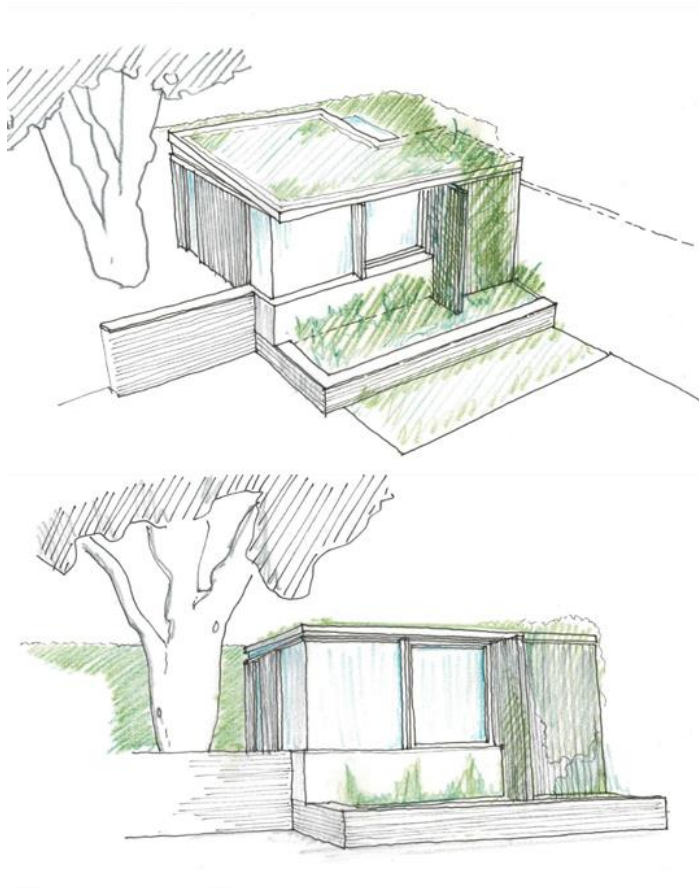
3. View of rear garden



4. Visualisation of outbuilding



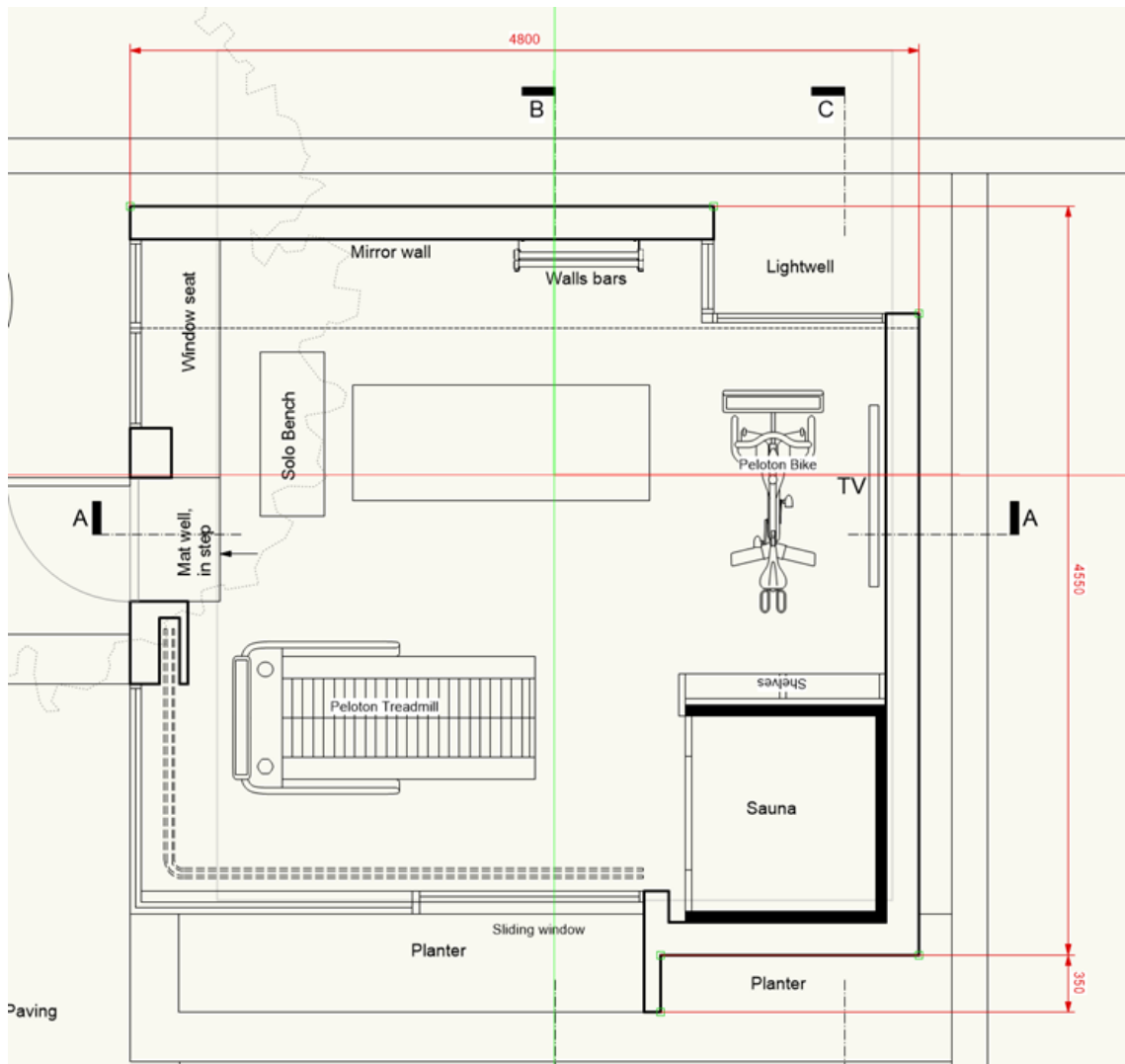
5. Visualisation of the outbuilding



Design sketches



6. Sketches of the outbuilding and precedent images



7. Proposed ground floor plan

Application ref: 2025/0399/P
Contact: Josh Lawlor
Tel: 020 7974 2337
Email: Josh.Lawlor@camden.gov.uk
Date: 10 July 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

100A Architects Ltd
100a West End Lane
Pinner
Pinner
HA5 3NG
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
16 Provost Road
London
NW3 4ST

Proposal:
Erection of rear garden outbuilding
Drawing Nos: 001, 002, 111A, 110A, 105A, 102A, 101A, 112

DECISION

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 001, 002, 111A, 110A, 105A, 102A, 101A, 112

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of any works on site, details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site in so far as these items may affect trees on or adjoining the site, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include

- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
- iii. full details of planting species and density
- iv a rainwater return system

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 You are advised that Section 44 of the Deregulation Act 2015 [which amended the Greater London Council (General Powers) Act 1973] only permits short term letting of residential premises in London for up to 90 days per calendar year. The person who provides the accommodation must be liable for council tax in respect of the premises, ensuring that the relaxation applies to residential, and not commercial, premises.
- 4 Biodiversity Net Gain (BNG) Informative (1/3):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and
(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is a Householder Application.

- 5 Biodiversity Net Gain (BNG) Informative (2/3):
+ Summary of transitional arrangements and exemptions for biodiversity gain condition
The following are provided for information and may not apply to this permission:
 1. The planning application was made before 12 February 2024.
 2. The planning permission is retrospective.

3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.

4. The permission is exempt because of one or more of the reasons below:

- It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
- It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
- The application is a Householder Application.
- It is for development of a "Biodiversity Gain Site".
- It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
- It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

DRAFT

DECISION